
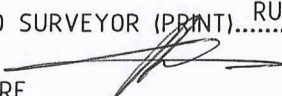
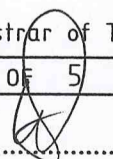


PLAN OF SUBDIVISION		STAGE No.	LR USE ONLY EDITION	PLAN NUMBER PS638244N
<p>LOCATION OF LAND</p> <p>PARISH: WODONGA</p> <p>TOWNSHIP:</p> <p>SECTION: 4</p> <p>CROWN ALLOTMENT: 1(PT), 2(PT) & 2^A</p> <p>CROWN PORTION: 3 PART</p> <p>TITLE REFERENCES:</p> <p>LAST PLAN REFERENCES: PS638243Q (LOT A)</p> <p>POSTAL ADDRESS: SILKY OAK AVENUE (At time of subdivision) WODONGA 3690</p> <p>MGA Co-ordinates E 491 800 (of approx centre of land N 6001 350 ZONE: 55 in plan)</p>		<p>COUNCIL CERTIFICATION AND ENDORSEMENT</p> <p>COUNCIL NAME: WODONGA CITY COUNCIL REF:</p> <p>1. This plan is certified under Section 6 of the Subdivision Act 1988.</p> <p>2. This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6:</p> <p>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</p> <p>OPEN SPACE</p> <p>(i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has has not been made.</p> <p>(ii) The requirement has been satisfied.</p> <p>(iii) The requirement is to be satisfied in Stage</p> <p>Council Delegate Council Seal Date 17 / 8 / 2011</p> <p>Re-certified under Section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date / /</p>		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	STAGING This is not a staged subdivision. Planning permit No. 2007/85		
ROAD R-1 RESERVE No.1	WODONGA CITY COUNCIL WODONGA CITY COUNCIL	DEPTH LIMITATION : 76.20 METRES BELOW THE SURFACE APPLIES TO THE LAND IN CROWN ALLOTMENT 2 ^A ONLY		
<p>OTHER PURPOSE OF PLAN: TO REMOVE EASEMENTS MARKED E-2 AND E-3 IN PS638243Q, BEING EASEMENT FOR POWERLINE AND EASEMENT FOR WATER SUPPLY RESPECTIVELY BY AGREEMENT WITH SPI ELECTRICITY PTY LTD AND NORTH EAST REGION WATER CORPORATION</p> <p>LOTS 1 TO 86 INCLUSIVE HAVE BEEN OMITTED FROM THIS PLAN</p> <p>SURVEY. THIS PLAN IS BASED ON SURVEY</p> <p>THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 23, 544, 878, 882, 933 & 1078 IN PROCLAIMED SURVEY AREA No. 42</p>				
EASEMENT INFORMATION				
LEGEND E - Encumbering Easement, Condition in Crown Grant in Nature of an Easement or Other Encumbrance A - Appurtenant Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 E-2	DRAINAGE SEWERAGE DRAINAGE	2.50 3 3	PS631548E THIS PLAN THIS PLAN	WODONGA CITY COUNCIL NORTH EAST REGION WATER CORPORATION WODONGA CITY COUNCIL
E-3 E-4 E-5	SEWERAGE DRAINAGE SEWERAGE DRAINAGE	SEE PLAN 2.50 2.50 2.50	THIS PLAN THIS PLAN THIS PLAN THIS PLAN	NORTH EAST REGION WATER CORPORATION WODONGA CITY COUNCIL NORTH EAST REGION WATER CORPORATION WODONGA CITY COUNCIL
LRS USE ONLY STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT				
RECEIVED <input type="checkbox"/>				
DATE: / /				
LRS USE ONLY PLAN REGISTERED TIME DATE / /				
Assistant Registrar of Titles				
SHEET 1 OF 5 SHEETS				
 <p>EDM Group PLANNERS SURVEYORS & ENGINEERS OFFICES 99 HUME ST PO Box 317 WODONGA 3689 Ph (02) 6057 8578 Fax (02) 6056 2392 ABN 12 532 366 914</p>		LICENSED SURVEYOR (PRINT) RUSSELL JOHN DOUTHAT SIGNATURE  DATE 08/08/11 REF 08013307 VERSION 03		
DATE 17 / 8 / 2011 COUNCIL DELEGATE SIGNATURE  ORIGINAL SHEET SIZE A3				

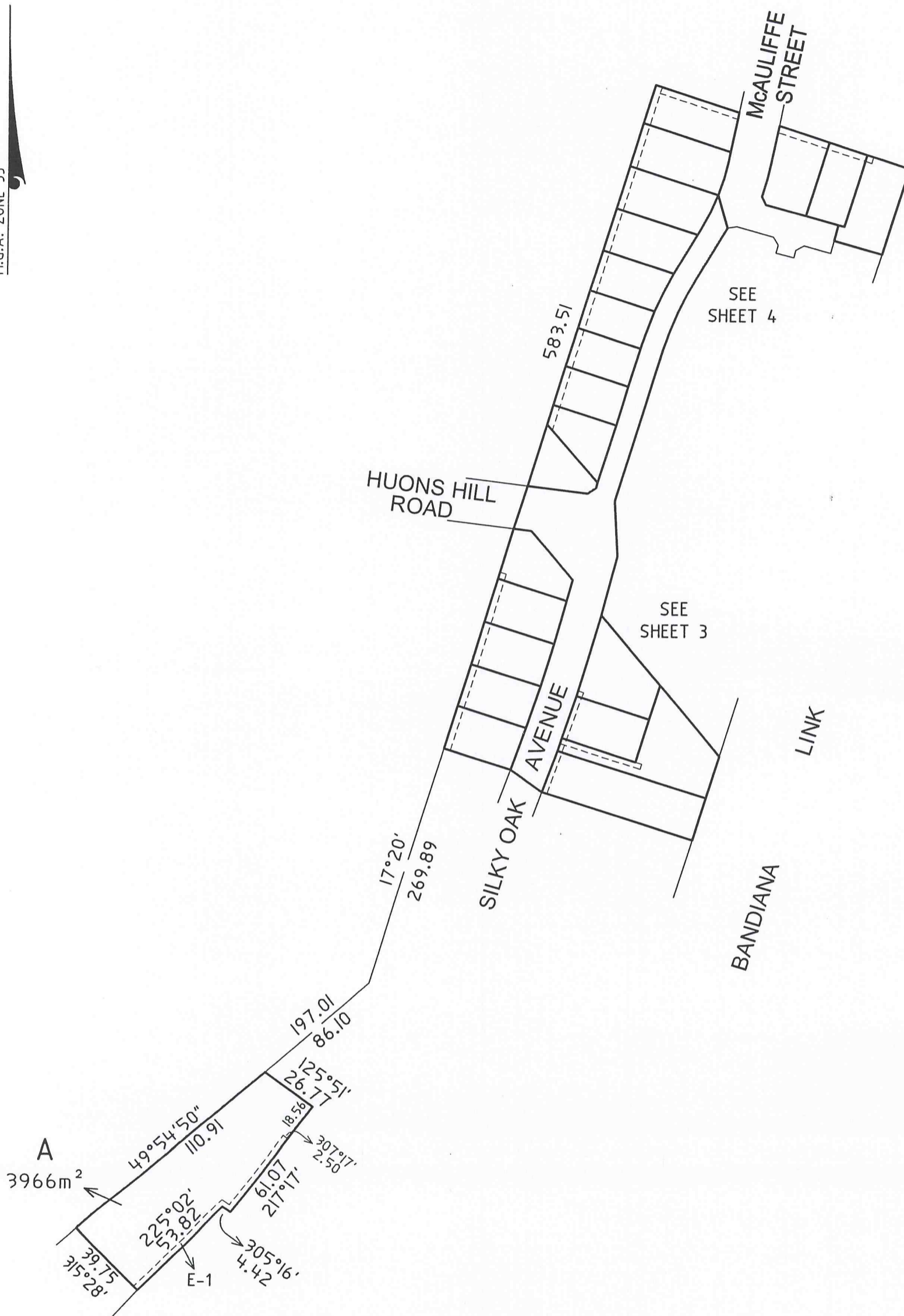
PLAN OF SUBDIVISION

STAGE No.

PLAN NUMBER

PS638244N

M.G.A. ZONE 55



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25 0 25 50 75 100 125
LENGTHS ARE IN METRES

ORIGINAL

SCALE
1:2500
SHEET
SIZE
A3

LICENSED SURVEYOR (PRINT).....RUSSELL JOHN DOUTHAT

SIGNATURE

DATE 08/08/11

REF 08013307

VERSION 03

SHEET 2 OF 5 SHEETS

DATE 17/8/2011
COUNCIL DELEGATE SIGNATURE

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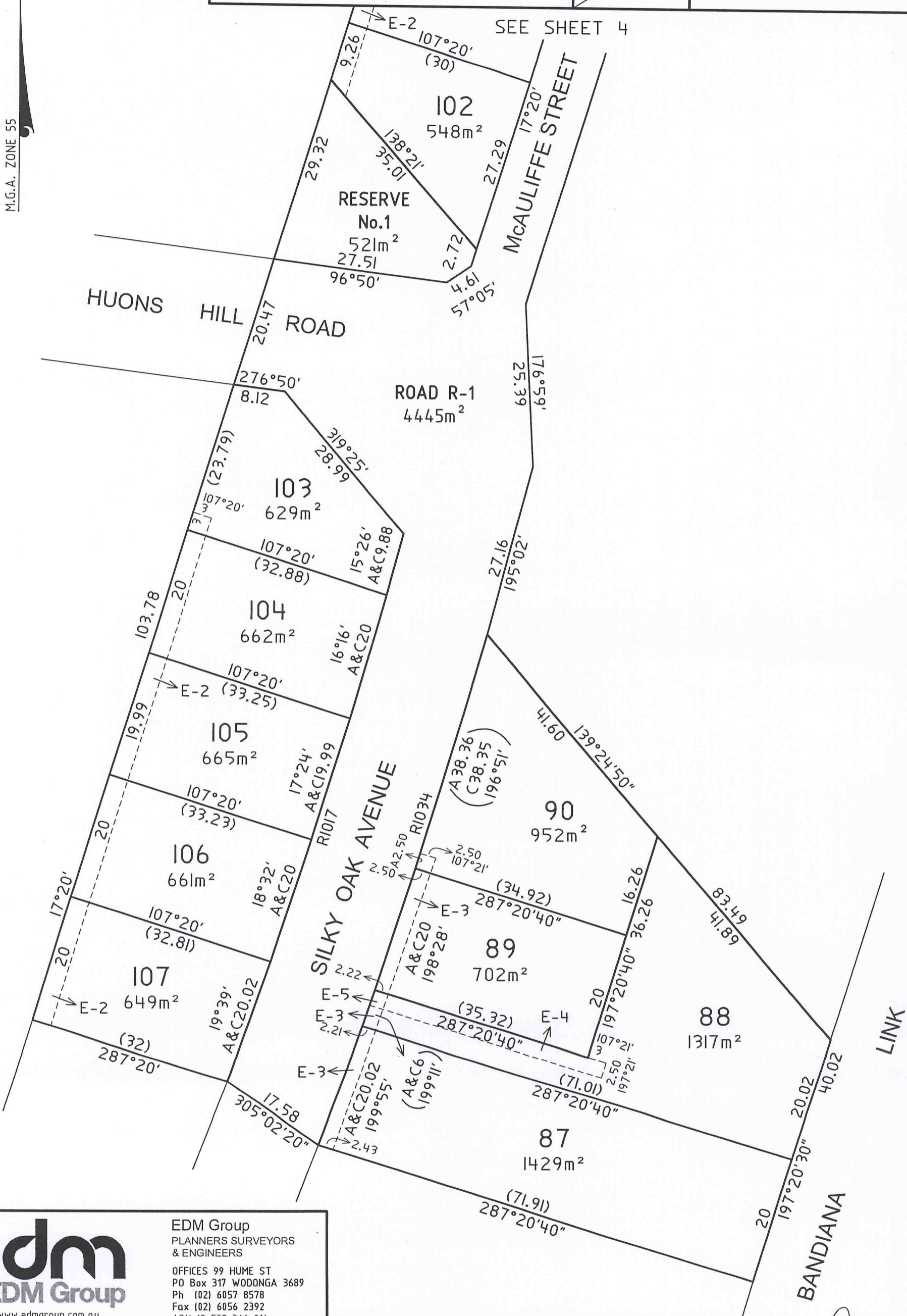
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ORIGINAL

SCALE
1:600

SHEET
SIZE
A3

LICENSED SURVEYOR (PRINT) RUSSELL JOHN DOUTHAT

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DATE 08/08/11

REF 08013307

VERSION 03

SHEET 3 OF 5 SHEETS

DATE 17/8/2011
COUNCIL DELEGATE SIGNATURE

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PLAN OF SUBDIVISION

STAGE No.

PLAN NUMBER

PS638244N

M.G.A. ZONE 55



SEE SHEET 3

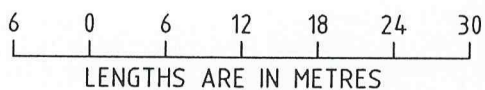


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SHEET 4 OF 5 SHEETS



SCALE
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0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm

PLAN OF SUBDIVISION

STAGE No.

PLAN NUMBER

PS638244N

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS ARE TO BE CREATED.
THE RESTRICTIONS ARE AUTHORISED BY PLANNING PERMIT No 2007/85.
LAND TO BE BURDENED: LOTS 87 TO 107 INCLUSIVE

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOTS 87 TO 107 INCLUSIVE ON THIS PLAN OF SUBDIVISION SHALL NOT:

1. DIRECTLY CONNECT TO THE LEGAL POINT OF STORMWATER DISCHARGE PROVIDED TO EACH LOT WITHOUT FIRST DIRECTING THE ROOF STORMWATER TO A RAINWATER TANK OF MINIMUM 3000L CAPACITY, PLUMBED TO THE GARDEN TAPS AND HOUSEHOLD TOILETS AND WITH A PRIMARY OUTLET OF 50mm DIA SET TO PROVIDE A MINIMUM 1000L OF AIR SPACE ABOVE THE OUTLET.
2. DIRECTLY CONNECT IMPERVIOUS AREAS SUCH AS PAVING AND PATHS TO THE LEGAL POINT OF STORMWATER DISCHARGE PROVIDED TO EACH LOT WITHOUT FIRST DIRECTING THE STORMWATER TO LAWN OR GARDEN BED AREAS.

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS ARE TO BE CREATED.
THE RESTRICTIONS ARE AUTHORISED BY PLANNING PERMIT No 2007/85.
LAND TO BE BURDENED: LOT 102

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOT 102 ON THIS PLAN OF SUBDIVISION SHALL NOT:

1. ERECT ANY FENCING TO RESERVE No.1 ON THIS PLAN EXCEPT AS APPROVED BY WODONGA CITY COUNCIL

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS ARE TO BE CREATED.
THE RESTRICTIONS ARE AUTHORISED BY PLANNING PERMIT No 2007/85.
LAND TO BE BURDENED LOTS 88 & 102

DESCRIPTION OF RESTRICTION

1. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOTS 88 & 102 SHALL NOT ERECT ANY DWELLING UNLESS THE PLAN IS APPROVED BY THE RESPONSIBLE AUTHORITY AS AUTHORISED BY PLANNING PERMIT 2007/85 CLAUSE 27

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS ARE TO BE CREATED.
THE RESTRICTIONS ARE AUTHORISED BY PLANNING PERMIT No 2007/85.
LAND TO BE BURDENED LOTS 88, 90, 91 & 102

DESCRIPTION OF RESTRICTION

1. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOTS 88, 90, 91 & 102 SHALL NOT ERECT A VEHICLE GATE IN ANY FENCING BETWEEN SUCH LOTS AND THE ADJOINING RESERVE AS AUTHORISED BY PLANNING PERMIT 2007/85 CLAUSE 28

CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTIONS ARE TO BE CREATED.
THE RESTRICTIONS ARE AUTHORISED BY PLANNING PERMIT No 2007/85.
LAND TO BE BURDENED: LOTS 88, 90, & 91

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF LOTS 88, 90 & 91 ON THIS PLAN OF SUBDIVISION SHALL NOT:

1. ERECT ANY FENCING TO RESERVE No.1 ON PLAN OF SUBDIVISION PS627682Y EXCEPT AS APPROVED BY WODONGA CITY COUNCIL AND THE DEPARTMENT OF SUSTAINABILITY AND ENVIRONMENT



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SHEET 5 OF 5 SHEETS

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